

ROCKDALE COUNTY JAIL PARTIAL ROOF REPLACEMENT DRAWINGS

911 CHAMBERS DR NW,
CONYERS, GA 30012

RAYMOND PROJECT NO. 1184.029
CLIENT: ROCKDALE COUNTY GENERAL SERVICES



AERIAL PHOTO
SCALE: N.T.S.

DRAWING INDEX

DWG NO	DRAWING TITLE	ISSUE DATE	REV NO.	LATEST ISSUE
GENERAL				
G-001	COVER SHEET	05/20/2025		05/20/2025
G-002	GENERAL INFORMATION	05/20/2025		05/20/2025
G-003	GENERAL NOTES	05/20/2025		05/20/2025
G-004	SITE PLAN	05/20/2025		05/20/2025

SPECIFICATIONS

A SEPARATE PROJECT MANUAL (SPECIFICATION) IS:

☒ INCLUDED

☐ NOT INCLUDED

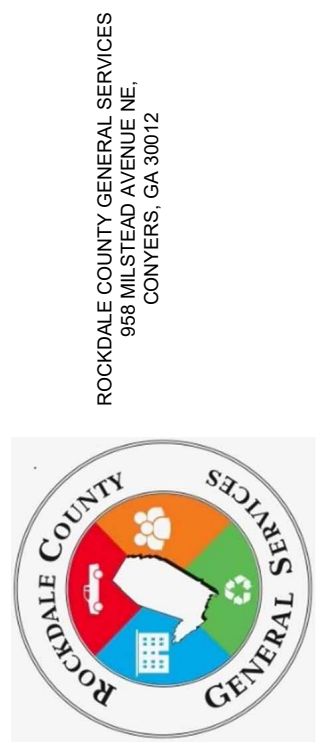
AS PART OF THIS PROJECT.

PROJECT SCOPE

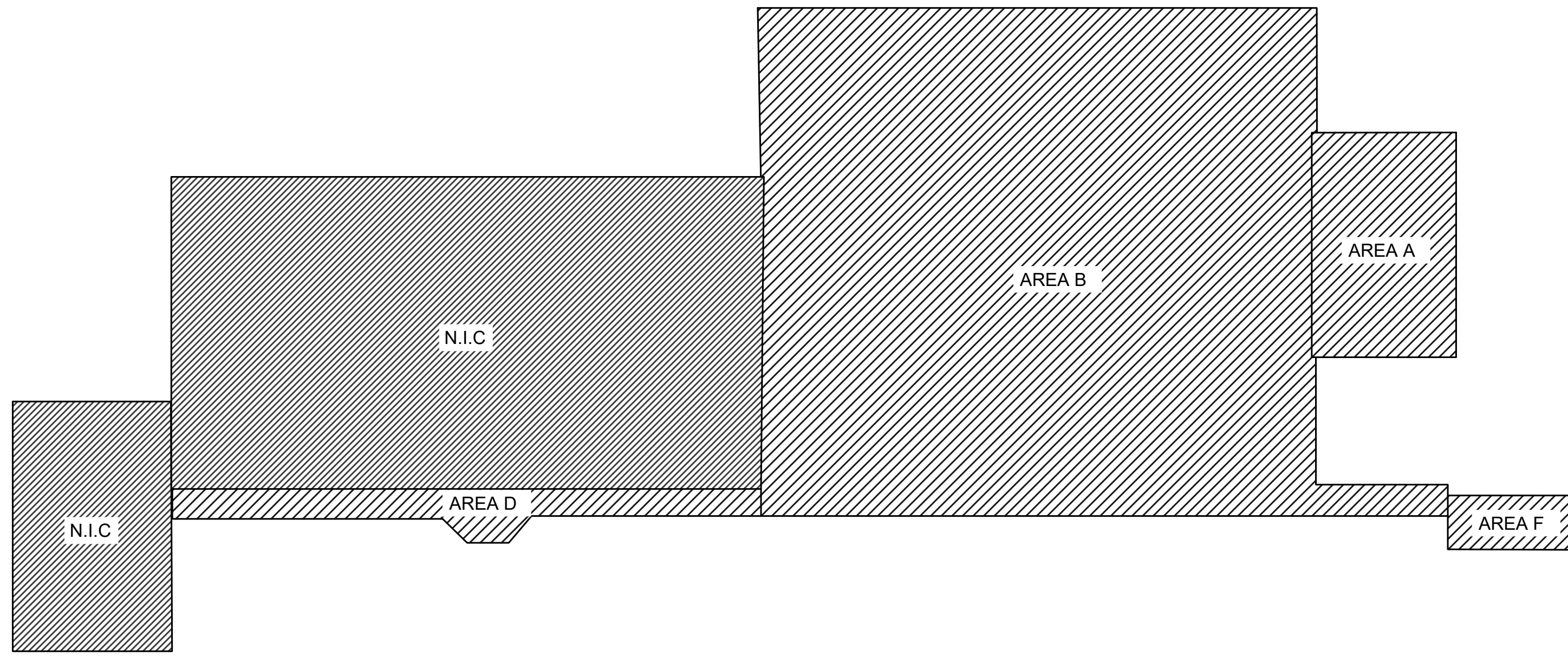
- REFER TO SPECIFICATIONS FOR PROJECT SCOPE. BELOW IS AN ABBREVIATED PROJECT SCOPE.
- AT ROOF AREAS A, B, D, AND F REMOVE AND PROPERLY DISPOSE OF EXISTING MODIFIED BITUMEN ROOFING, ASSOCIATED BASE FLASHINGS, AND ASSOCIATED INSULATION DOWN TO THE STRUCTURAL METAL DECK.
 - REMOVE AND REPLACE EXISTING SCUPPER LINERS, GUTTERS, CONDUCTOR HEADS, AND DOWNSPOUTS WITH NEW.
 - AT ROOF AREAS A, B, D, AND F FURNISH AND INSTALL NEW MECHANICALLY SECURED POLYISOCYANURATE (ISO) INSULATION, NEW FULLY ADHERED ISO, FULLY ADHERED COVERBOARD, AND FULLY ADHERED 80-MIL TPO MEMBRANE ROOF SYSTEM AS SPECIFIED HEREIN TO MEET THE MINIMUM ENERGY CODE REQUIREMENT OF R-25.
 - DEDUCTIVE ALTERNATE NO. 1: IN LIEU OF INSTALLING 80-MIL TPO FURNISH AND INSTALL 60-MIL TPO.
 - FURNISH AND INSTALL OTHER MISCELLANEOUS ITEMS AS SPECIFIED.



PROJECT INFORMATION
RAYMOND PROJECT NUMBER: 1184.029
CLIENT'S REPRESENTATIVE: ROCKDALE COUNTY
CLIENT'S REPRESENTATIVE: RAYMOND RAMOS
CLIENT'S REPRESENTATIVE: RAYMOND RAMOS
DATE: 5/20/2025
NOTICE
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PROJECT TITLE: ROCKDALE COUNTY JAIL PARTIAL ROOF REPLACEMENT	PROJECT ADDRESS: 911 CHAMBERS DR NW, CONYERS, GEORGIA 30012
DRAWING #: G-001	SHEET TITLE: COVER SHEET



*N.I.C (NOT IN CONTRACT)

ROOF DEMOLITION NOTES	
ITEM	DESCRIPTION
1	DEMOLITION DETAILS ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE EXTENT AND TYPE OF ROOF SYSTEM(S) AND RELATED MATERIALS TO BE REMOVED.
2	CONTRACTOR SHALL INCLUDE BUT NOT BE LIMITED TO THE REMOVAL OF ALL EXISTING AGGREGATE, MEMBRANE, DETERIORATED WOOD BLOCKING, INSULATION, BASE FLASHINGS, METAL FLASHINGS, CANT STRIPS, DRAINS & RELATED MATERIALS DOWN TO THE STRUCTURAL DECK AS REQUIRED HEREIN AND BY THE ROOF SYSTEM MANUFACTURER TO PROVIDE A WARRANTED ROOF SYSTEM.
3	CONTRACTOR SHALL COORDINATE WITH THE OWNER TO PROTECT, REMOVE, AND/OR STORE ANY ROOFTOP EQUIPMENT AS NEEDED TO ENABLE THE REMOVAL AND REPLACEMENT OF THE EXISTING ROOFING SYSTEM. REMOVE AND CLEAN MATERIALS FROM WALLS AND ROOF DECK TO PREPARE THE SURFACE TO RECEIVE NEW ROOF SYSTEM.
4	DAMAGED OR DETERIORATED ROOF DECK UNCOVERED DURING ROOFING DEMOLITION SHALL BE DOCUMENTED BY THE CONTRACTOR, REPORTED TO THE DESIGNER OF RECORD, IN WRITING AND REPLACED OR REPAIRED ON A UNIT PRICE BASIS.
5	THE CONTRACTOR SHALL ENSURE THAT THE ROOF AND ALL FLASHINGS REMAIN WATERTIGHT THROUGHOUT CONSTRUCTION.
6	LIMIT ROOFING SYSTEM REMOVAL TO AN AREA WHICH CAN BE MADE WATERTIGHT WITH THE INITIAL MEMBRANE AT THE END OF EACH WORKING DAY OR SOONER AS REQUIRED DUE TO WEATHER.
7	THE CONTRACTOR SHALL PHOTO DOCUMENT ALL EXISTING ROOFTOP EXHAUST FANS AND ANY OTHER EQUIPMENT PRIOR TO THE START OF WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE ANY EQUIPMENT FOUND TO BE MALFUNCTIONING OR INOPERABLE AFTER THE WORK AT NO COST TO THE OWNER IF SUCH EQUIPMENT WAS NOT REPORTED PRIOR TO THE START OF WORK.
8	TEMPORARILY DISCONNECT AND RECONNECT ANY DOORS, MECHANICAL/ELECTRICAL LINES AND EQUIPMENT AS NECESSARY TO DISPOSE OF THE ROOF SYSTEM AND RELATED MATERIAL. COORDINATE DISCONNECTION AND RECONNECTION WITH OWNER. THE CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS WHICH INTERFERE WITH THE INSTALLATION OF THE NEW ROOF SYSTEM AND RELATED WORK. ALL SUCH EQUIPMENT AND ITEMS SHALL BE TEMPORARILY RE-ROUTED AS NECESSARY IF IT REQUIRED TO STAY IN SERVICE. ANY ITEMS NOT REQUIRED TO STAY IN SERVICE SHALL BE PROPERLY STORED BY THE CONTRACTOR AND REINSTALLED AT COMPLETION OF THE WORK. ALL ELECTRICAL, MECHANICAL AND PLUMBING WORK SHALL BE PERFORMED BY LICENSED CONTRACTORS. ALL REINSTALLATION WORK SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. ANY EXISTING WORK WHICH DOES NOT CONFORM TO APPLICABLE CURRENT CODES SHALL BE REPORTED TO OWNER.

GENERAL CONSTRUCTION NOTES	
A	THE CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD. THIS INCLUDES THE VERIFICATION OF THE EXACT LOCATIONS, DIMENSIONS, AND QUANTITIES OF ALL ROOFTOP EQUIPMENT AND APPURTENANCES INCLUDING BUT NOT LIMITED TO VENT PIPES, DRAINS, FLUTE PIPES, HOT STACK CURBS, BASE FLASHINGS, AND ALL OTHER PENETRATIONS. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF RECORD OF ANY EXISTING CONDITIONS THAT DO NOT MATCH WHAT IS SHOWN IN THE CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTING A BID. NO ADDITIONAL COSTS TO THE OWNER WILL BE ACCEPTED ONCE THE PROJECT HAS BEEN AWARDED.
B	THE BUILDING MAY BE FULL OR PARTIALLY OCCUPIED. CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION, AND SHALL COORDINATE WITH THE OWNER TO ACCOMMODATE THE NEEDS OF THE BUILDING OCCUPANTS.
C	CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN, INCLUDING GROUNDS, EXTERIOR SURFACES AND THE INTERIOR OF THE BUILDING. DAMAGE CONDITION BY THE CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. ALL REPAIR WORK MUST CONFORM TO THE ORIGINAL CONDITIONS AND SATISFY TO THE OWNER AND DESIGNER OF RECORD.
D	ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL CODES AND AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
E	ALL DETAILS INDICATE MINIMUM INSTALLATION REQUIREMENTS. IF THE MANUFACTURER'S STANDARD DETAILS ARE MORE STRINGENT, IN THE OPINION OF DESIGNER OF RECORD, THEY SHALL GOVERN. IF THE DETAILS SHOWN ARE MORE STRINGENT THAN THE MANUFACTURER'S STANDARD DETAILS, IN THE OPINION OF THE DESIGNER OF RECORD, THE DETAILS SHOWN SHALL GOVERN, REGARDLESS OF THE MANUFACTURER'S WILLINGNESS TO WARRANTY/GUARANTEE THE LESSER DETAIL. BY SUBMITTING A BID FOR THIS PROJECT, IT IS UNDERSTOOD THAT THE CONTRACTOR AND MANUFACTURER AGREE TO WARRANTY/GUARANTEE THE DETAILS SHOWN. THE DESIGNER OF RECORD MAY, BUT IS NOT OBLIGATED TO, ACCEPT ANY PROPOSED CHANGES TO THE DETAILS SHOWN.
F	THE CONTRACTOR IS TO PROVIDE ALL LABOR AND MATERIAL FOR A COMPLETE AND WATERTIGHT JOB WHICH IS FULLY WARRANTED/GUARANTEED BY THE MANUFACTURER AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. ANY DETAILS OR WORK REQUIRED FOR A COMPLETE JOB, BUT NOT SHOWN OR SPECIFIED BY THE CONTRACT DOCUMENTS, SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER. ANY ADDITIONAL LABOR AND MATERIAL REQUIRED TO MEET MANUFACTURER'S WARRANTY/GUARANTEE REQUIREMENTS, BUT NOT INDICATED BY THE CONTRACT DOCUMENTS, SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
G	ALL WOOD BLOCKING USED IN THE ROOFING WORK SHALL BE MINIMUM 2X6 PRESSURE TREATED.
H	ALL NEW CRICKETS/GUSSETS TO BE TAPERED ISO DOUBLE THE SLOPE OF ROOF (e.g ¼" PER FOOT FOR ½" PER FOOT ROOF SLOPE)
I	PROVIDE CRICKET BEHIND ALL ROOF CURBS GREATER THAN 24" WIDE AS NEEDED TO PREVENT THE ACCUMULATION OF WATER AGAINST THE UNIT.
J	ADDITIONAL DETAILS NOT KEYED ON ROOF PLAN MAY BE INCLUDED AND SHALL BE INSTALLED AS NECESSARY.

GENERAL SCOPE OF WORK	
1.	ROOF REPLACEMENT WITH ASSOCIATED REQUIREMENTS.
2.	REFER TO ROOF PLANS, DETAILS, AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
PROTECTION NOTES	
1.	THE BUILDING WILL REMAIN FUNCTIONAL AND OCCUPIED THROUGHOUT THE CONSTRUCTION PERIOD. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT CONTENTS AND OCCUPANTS.
2.	NO MORE ROOFING SHALL BE REMOVED THAN CAN BE INSTALLED, WITH THE COMPLETE NEW ROOF SYSTEM EACH DAY, EXCEPT AS OTHERWISE APPROVED.
3.	THE BUILDING SHALL BE WATERTIGHT AT THE END OF EACH DAY'S CONSTRUCTION AND WHEN INCLEMENT WEATHER THREATENS.
4.	THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE BUILDING, EXTERIOR, INTERIOR AND GROUNDS, INCLUDING ANY LANDSCAPING, AND ALL PROMENADE CONCRETE WITHIN THE PROJECT SCOPE.
5.	ANY SURFACES STAINED, MARKED, MARRED, OR DAMAGED BY THE CONTRACTOR SHALL BE RETURNED TO ORIGINAL CONDITION AND TO MATCH ADJACENT SURFACES.
6.	THE SEQUENCE OF WORK SHALL MINIMIZE CONSTRUCTION TRAFFIC ON THE NEW WORK.

GENERAL NOTES	
1.	ALL BUILDING DIMENSIONS, EXISTING CONDITIONS, ITEM LOCATIONS, AND SIZES AND QUANTITIES OF PENETRATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
2.	LAYDOWN/STORAGE AREA IS LIMITED AND SHALL BE AS APPROVED BY THE OWNER.
3.	PRIOR TO PERFORMING WORK, THE CONTRACTOR SHALL INSPECT THE WORK SITE AND EXISTING CONSTRUCTION FOR POTENTIAL SAFETY HAZARD AND PROVIDE FOR THE SAFETY AND PROTECTION OF WORKERS AND OCCUPANTS THROUGHOUT COURSE OF WORK. COMPLY WITH OSHA AND LOCAL BUILDING CODE REQUIREMENTS.
4.	BUILDING ACCESS IS RESTRICTED AND ALLOWED ONLY AS REQUIRED TO ACCOMPLISH CONTRACT WORK. COORDINATE ANY REQUIRED ACCESS WITH THE OWNER.
5.	WORK INCLUDES ROOF REPLACEMENT OF ONLY THE INDICATED ROOF AREAS.
6.	SITE SHALL BE CLEANED AND SECURED ON A DAILY BASIS.

PROJECT TITLE: ROCKDALE COUNTY JAIL PARTIAL ROOF REPLACEMENT		PROJECT DESIGNED FOR: 		PROJECT INFORMATION			
PROJECT ADDRESS: 911 CHAMBERS DR NW, CONYERS, GEORGIA 30012		PROJECT INFORMATION		RAYMOND PROJECT NUMBER SHEILA TOWNE		9	
SHEET TITLE: GENERAL NOTES		CLIENT:		RAYMOND RAMOS		8	
		ARCHITECTAL FIRM:		RAYMOND RAMOS		7	
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EXISTING ROOF ASSEMBLY CHART

ROOF DESIGNATION	DECK		INSULATION		COVER BOARD	ROOF MEMBRANE	COMMENTS
	SLOPED METAL DECK	FLAT METAL DECK	2-1/2" POLYISOCYANURATE INSULATION	3" POLYISOCYANURATE	1-1/2" MINERAL PERLITE	GRANULATED MODIFIED BITUMEN	
A & B	●	-	●	-	●	●	REMOVE EXISTING ROOFING MATERIALS DOWN TO EXISTING DECK AS SPECIFIED.
D	●	-	-	●	●	●	REMOVE EXISTING ROOFING MATERIALS DOWN TO EXISTING DECK AS SPECIFIED.
F	-	●	●	-	●	●	REMOVE EXISTING ROOFING MATERIALS DOWN TO EXISTING DECK AS SPECIFIED.

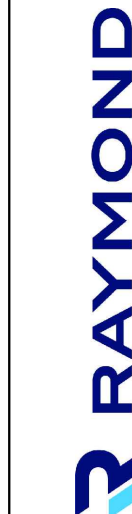
NEW ROOF ASSEMBLY CHART

ROOF DESIGNATION	DECK		INSULATION		COVER BOARD	ROOF MEMBRANE	COMMENTS
	SLOPED METAL DECK	FLAT METAL DECK	TWO LAYERS OF NEW POLYISOCYANURATE INSULATION - MIN. R25	1/2" PER FOOT TAPERED POLYISOCYANURATE INSULATION	NEW COVERBOARD	NEW FULLY ADHESIVED 80MIL TPO (REFLECTIVE ALT. 60-MIL)	
A, B, & D	●	-	●	-	●	●	REFER TO SPECIFICATION FOR ATTACHMENT
F	-	●	●	●	●	●	REFER TO SPECIFICATION FOR ATTACHMENT



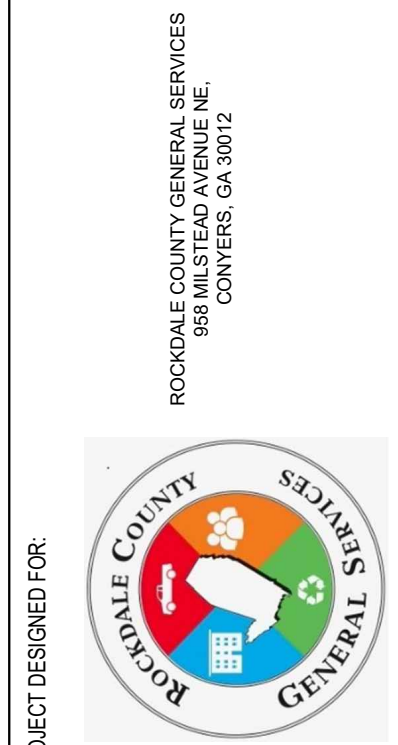
1 SITE PLAN
SCALE: N.T.S.

LEGEND	
SYMBOL	DESCRIPTION
	REROOF



RAYMOND
FULL-SERVICE ARCHITECTURE & ENGINEERING
CONCRETE CONSTRUCTION • COMMERCIAL INTERIORS
ARCHITECTURAL RENDERING • INTERIOR DESIGN
1035 GREEN ST. SE.
CONYERS, GA 30012
WWW.RAYMONDGLOBAL.COM

PROJECT INFORMATION	
RAYMOND PROJECT NUMBER	1704-029
OWNER	SHERA DOLIVE
CLIENT'S REPRESENTATIVE	RAYMOND RAMOS
APPROVED	RAYMOND RAMOS
DATE	5/20/2025
DESIGNED BY	SENORHE RIVERO
DATE	5/20/2025
NOTICE	



PROJECT TITLE: ROCKDALE COUNTY JAIL PARTIAL
PROJECT ADDRESS:
911 CHAMBERS DR NW
CONYERS, GEORGIA 30012

DRAWING #: G-004

REVISION #:

SHEET TITLE: SITE PLAN

DESCRIPTION OF REVISIONS